

Important notice: In accordance with the Property Misdescriptions Act (1991) we have prepared these sales particulars as a general guide to give a broad description of the property. They are not intended to constitute part of an offer or contract. We have not carried out a structural survey and the services, appliances and specific fittings have not been tested. All photographs, measurements, floor plans and distances referred to are given as a guide only and should not be relied upon for the purchase of carpets or any other fittings. Lease details, service charges and ground rent (where applicable) are given as a guide only and should be checked and confirmed by your solicitor prior to exchange of contracts.



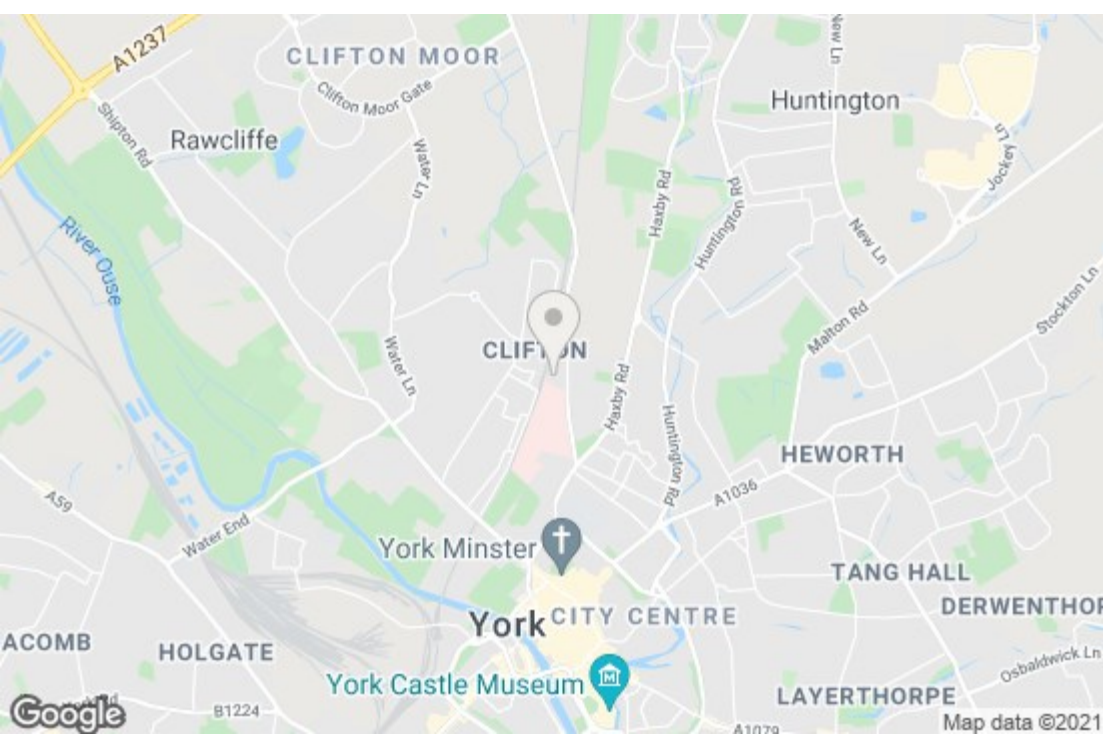
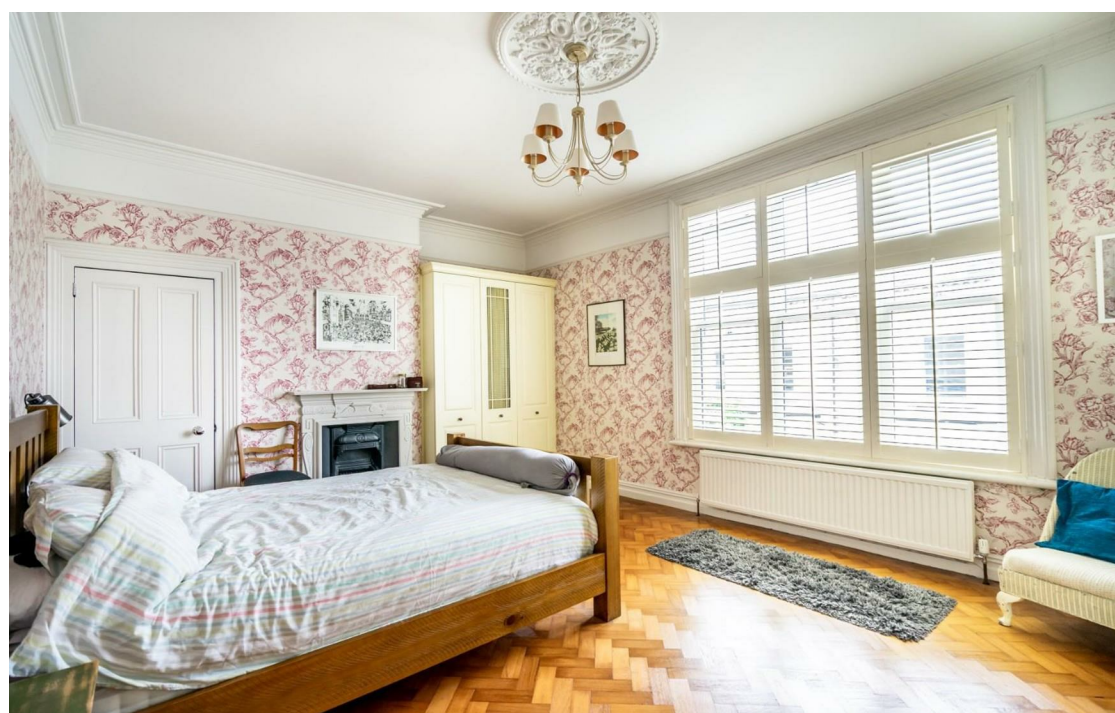
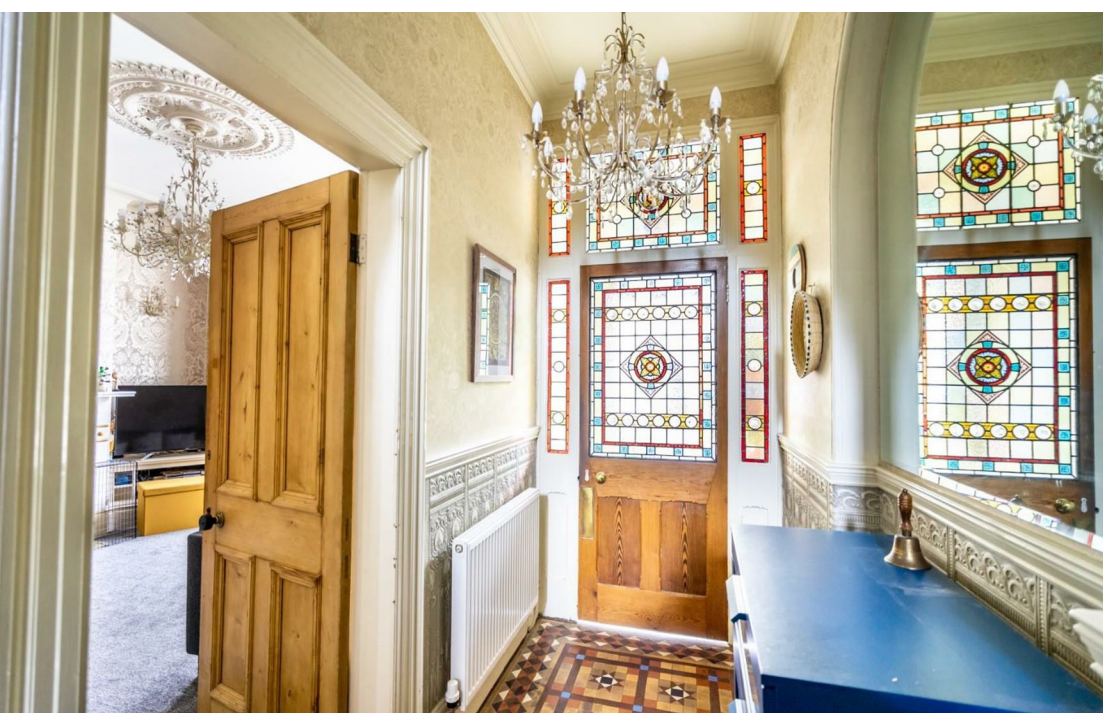
England & Wales	
EU Directive 2002/91/EC	
Very energy efficient - lower running costs	A (92 plus)
	B (81-91)
	C (69-80)
	D (55-68)
	E (39-54)
	F (21-38)
Not energy efficient - higher running costs	G (1-20)
Current	58
Potential	75

Energy Efficiency Rating



18 Feversham Crescent, York
 £585,000





Description

This substantial PERIOD END TOWNHOUSE has nearly 1,900 sq ft of living accommodation and is situated within CLOSE PROXIMITY of York City centre with easy access to the railway station, district hospital and commuter links.

Arranged over three floors the accommodation briefly comprises; entrance vestibule with glass panel door, reception hallway with original mosaic tiled floor, living room with impressive original fireplace and large bay window, family room with built-in shelving and a workspace, modern kitchen with breakfast room beyond and utility room and ground floor w.c.

To the first floor there is a large landing area which gives access out onto a delightful rear roof terrace with tiled flooring and wrought iron safety railings. Further to this floor are two double bedrooms and a four piece house bathroom including walk-in shower.

The second floor also has two double bedrooms and a fifth bedroom which is currently being used as a home office and is fully fitted with bespoke furniture. In addition to the bedrooms there is a modern shower room.

Externally to the front there is an attractive forecourt, and to the rear, a walled, paved courtyard facilitating off street parking giving vehicular access via an electric roller door.

Whilst retaining many original features this property has been extremely well maintained and modernised throughout.

Viewing highly recommended.